

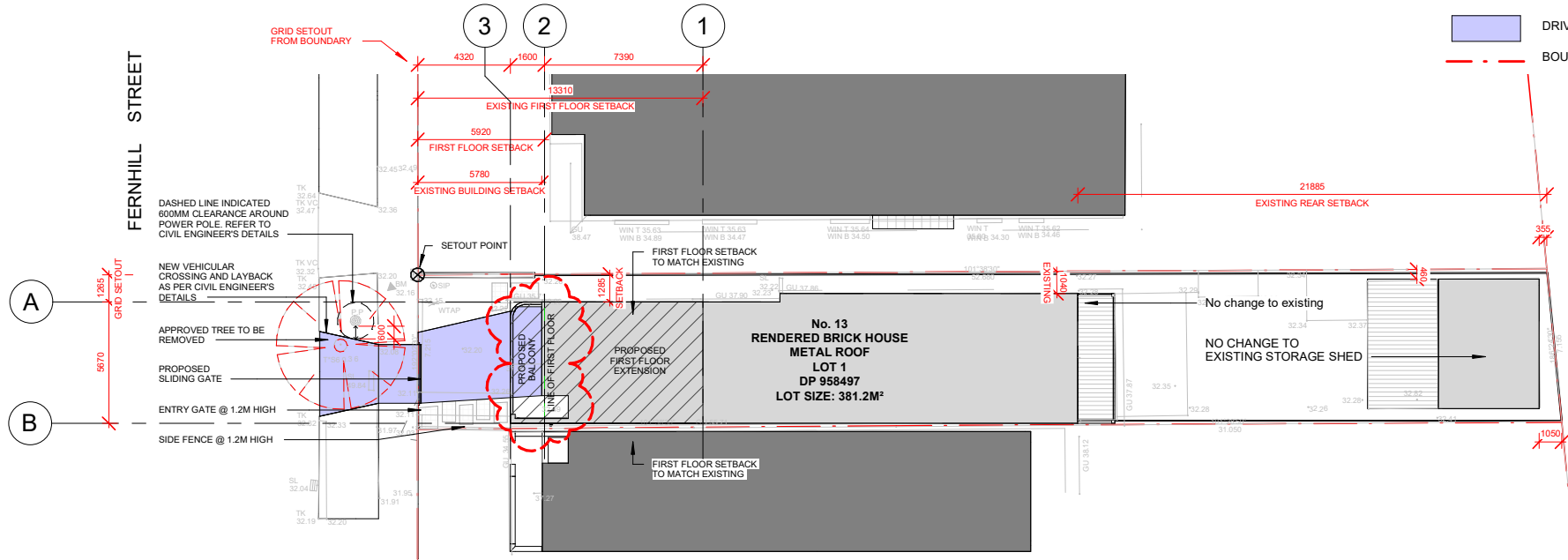


0 2 4 6 8m
1:200



SECTION 4.55
APPLICATION

- NEIGHBOURS
- EXISTING
- PROPOSED
- DRIVEWAY
- BOUNDARY LINE



1 Site Plan
1 : 200

Total Site Area 381.2 m2

LEP allowable FSR 0.55:1 (209.66m²)

LEP	
Existing Ground Floor Area:	120 m2
Existing First Floor Area:	87.6m2
Existing Total Floor Area:	207.6m2
Existing FSR	0.54:1
Proposed Ground Floor Area	97m2
Proposed First Floor Area:	118m2
Proposed Total Floor Area:	215m2
Proposed FSR	0.56:1

CLIENT: NIGRO RESIDENCE
JOB No: 21-108
DATE: 24/04/25

REV: D
SHEET: CC02 SITE PLAN/ANALYSIS
STAGE: DEVELOPMENT APPLICATION

13 FERNHILL STREET, HURLSTONE PARK

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DESIGN STUDIO

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DA CONDITIONS (DA-354/2024)

5. Before the issue of the relevant construction certificate, a suitably qualified engineer must review the plans which relate to parking facilities and provide written evidence, to the certifier's satisfaction, that it complies with the relevant parts of AS 2890 - Parking Facilities - Off-Street Carparking and Council's development control plan

8. The consent holder is to ensure that an erosion and sediment control plan is prepared in accordance with the following documents before it is provided to and approved by the certifier:
a. Council's development control plan.
b. the guidelines set out in the NSW Department of Housing manual 'Managing Urban Stormwater: Soils and Construction Certificate (the Blue Book)' and
c. the 'Do it Right On-Site: Soil and Water Management for the Construction Industry' (Southern Sydney Regional Organisation of Councils and the Natural Heritage Trust). The consent holder must ensure the erosion and sediment control plan is kept onsite at all times during site works and construction

9. Where Council approved or fill exceeds 200mm and a stable batter of 1 vertical to 3 horizontal maximum grade cannot be achieved, then a masonry or other proprietary material retaining wall, intended and suitable for that purpose, shall be constructed within the development site. Note, filling of the site needs specific approval from Council.
a. The retaining wall shall be located so that it will not impede or obstruct the natural flow of stormwater. Retaining walls exceeding 600mm in height shall be designed by an appropriately qualified person as defined in the Building and Development Certifiers Regulation 2020. Plans and details prepared and signed by an appropriately qualified person as defined in the Building and Development Certifiers Regulation 2020 are to be submitted to the certifier before the issue of the construction certificate.
b. All works associated with the construction of the wall, including backfilling and drainage, is to be located wholly within the allotment boundaries

12. Finished surface levels of all internal works and at the street boundary, including driveways, landscaping and drainage structures, must be as shown on relevant construction certificate plans. The levels at the street boundary must be consistent with the Street Boundary Alignment Levels issued by Council.
14. The design, layout, signage, line marking, lighting and physical context of all offstreet parking facilities must comply with the minimum requirements of Australian Standard AS/NZS 2890.1 Parking facilities Part 1: Off-street car parking, AS/NZS 2890.2 Parking facilities Part 2: Off-street commercial vehicle facilities and AS/NZS 2890.6 Parking facilities Part 6: Off-street parking for people with disabilities. The details must be submitted to and approved by the certifier before a construction certificate being issued.

14. (CONTINUED): Furthermore, for internal driveways with a gradient exceeding 10% (1 in 10), longitudinal profiles of all vehicular driveways and ramps shall be submitted for approval by the certifier before the issue of the construction certificate. The maximum grade of the driveway/ramp shall not exceed 25% and shall comply with AS 2890 parking series. The profile shall be drawn at a reduction ratio of 1 to 25 vertical and horizontal and shall be related to the datum used for the issue of the footway design levels and shall also show the road centre line levels. Council issued footway design levels and gutter levels. Council's Car Clearance Profile in Council's Development Engineering Standards, (Plan No. S 006) shall be used to design the profile

16. A detailed landscape plan prepared by a qualified landscape architect or qualified landscape designer must be approved by the certifier before the issue of a construction certificate. The landscape plan must be prepared in accordance with the Canterbury Bankstown Development Control Plan 2023 and must include the following features, notations and specifications:
a. The location of existing and proposed structures on the subject property/properties, including existing and proposed trees (proposed trees are to be no closer than 3m to any approved or existing dwelling), impermeable areas, landscaped areas, deep soil zones, fixed furniture, shade structures, lighting, and other features.
b. Details of earthworks and soil depths, including mounding and retaining walls and planted boxes.
c. The location, number, pot size and type of chosen plant species. Details of planting procedures and long-term maintenance (if any).
d. Details of drainage and watering systems (if any).

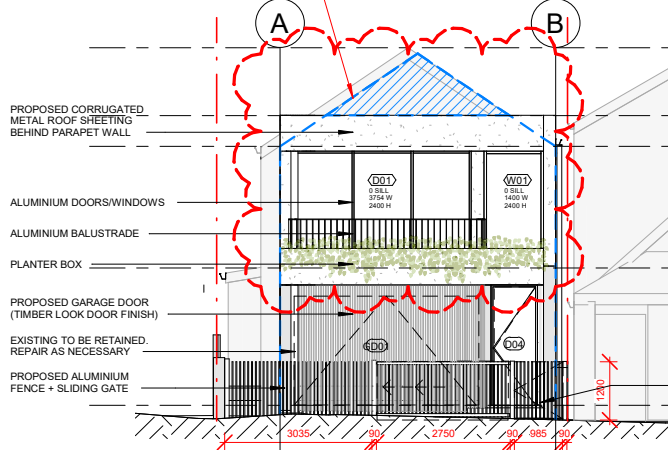
16. (CONTINUED): e. A Landscape maintenance schedule period of 12 months is to be applied to this development. During this maintenance period, the landscaping must be maintained in accordance with the details specified on the submitted landscape plan.
f. All the tree supply stocks shall comply with the guidance given in the publication 'Specifying Trees: a guide to assessment of tree quality by Ross Clark (NATSPEC, 2003).
g. All scheduled plant stock shall be pre-ordered, before issue of construction certificate or 3 months before the commencement of landscape works, whichever occurs sooner, for the supply to the site on time for installation. Written confirmation of the order shall be provided to Council before issue of any construction certificate. The order confirmation shall include name, address and contact details of supplier, and expected supply date, and
h. One 75lt (minimum) major canopy tree shall be planted within the front and rear setback to the dwelling (proposed trees are to be no closer than 3m to any approved or existing dwelling)

17. The front setback is to be composed of entirely landscaped deep soil areas, except for required pedestrian and vehicular access.

0 1 2 3 4m
1:100

SECTION 4.55
APPLICATION

BLUE DASHED LINE
INDICATES FOOTPRINT OF
APPROVED DA. BLUE HATCH
AREA INDICATES
REDUCTION IN HEIGHT



GA - WEST ELEVATION (STREET)

BLUE DASHED LINE
INDICATES FOOTPRINT OF
APPROVED DA. BLUE HATCH
AREA INDICATES
REDUCTION IN HEIGHT

CORRUGATED METAL ROOF SHEETING

CEMENT RENDER FINISH

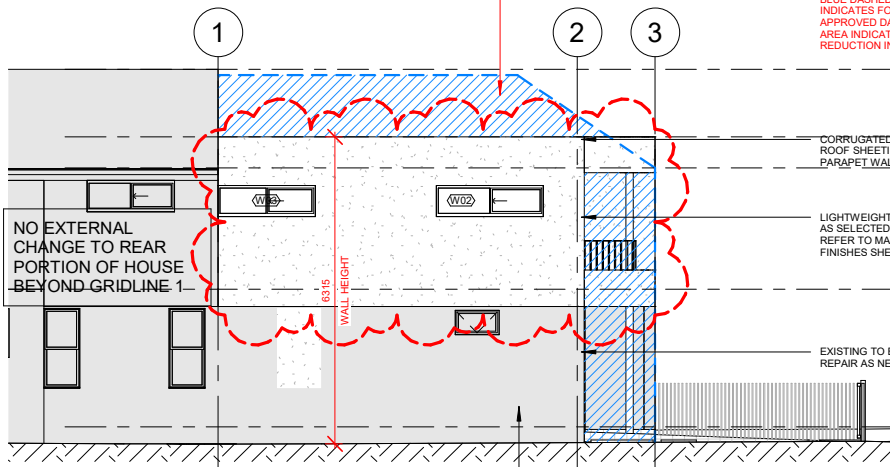
EXISTING TO BE RETAINED.
REPAIR AS NECESSARY

EXISTING TO BE RETAINED.
REPAIR AS NECESSARY

EXISTING TO BE RETAINED.
REPAIR AS NECESSARY

GA - SOUTH ELEVATION

BLUE DASHED LINE
INDICATES FOOTPRINT OF
APPROVED DA. BLUE HATCH
AREA INDICATES
REDUCTION IN HEIGHT



GA - NORTH ELEVATION

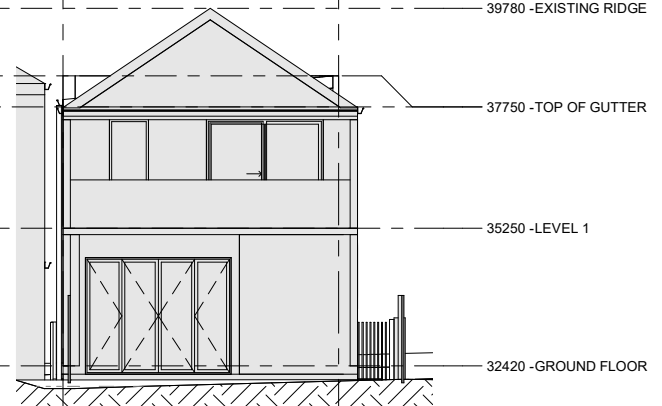
CORRUGATED METAL
ROOF SHEETING BEHIND
PARAPET WALL

LIGHTWEIGHT CLADDING
AS SELECTED
REFER TO MATERIAL AND
FINISHES SHEET

EXISTING TO BE RETAINED.
REPAIR AS NECESSARY

CEMENT RENDER + PAINT
FINISH TO FRONT PORTION OF
GROUND FLOOR

NO CHANGE TO
REAR ELEVATION



GA - EAST ELEVATION

CLIENT: NIGRO RESIDENCE
JOB No: 21-108
DATE: 24/04/25

REV: D
SHEET: CC16 ELEVATIONS - PROPOSED
STAGE: DEVELOPMENT APPLICATION

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